



Inspection Report

Prepared For

John & Mary Smith

Property Address

1234 M33, Alger, MI 48610



**INVOICE NUMBER****202307232**

*"Shield yourself from the unknown
with a Wahl Home Inspection"*

CLIENT INFORMATION

| | | | |
|----------------|-------------------|--------------------|--------------|
| Client: | John & Mary Smith | Telephone: | 989-999-9999 |
| Email: | | Additional: | |

PROPERTY INFORMATION

| | |
|--------------------------|----------|
| Property Address: | 1234 M33 |
| Property City: | Alger |
| Property ZipCode: | 48610 |
| Square Footage: | 1950 |

INSPECTION SERVICE INFORMATION

| | |
|----------------------------|--|
| Additional Service: | |
| Additional Service: | |
| Additional Service: | |
| Component: | |

INSPECTION DATE INFORMATION

| | | | |
|-------------------------|-----------|--------------------------|------|
| Inspection Date: | 7/23/2023 | Inspection Time : | 1300 |
| Buyers Agent: | | | |
| Company: | | | |

INSPECTION FEES

| | |
|------------------------------|----------|
| Total Inspection Fee: | \$295.00 |
| Payment Method: | |

Your Inspection Report Should Be Available Within 24 hours At The Link Below
https://wahlinpections.com/reports/202307232/202307232_Smith.pdf

4643 W Berry Rd. Sterling MI 48659 (989) 980-9870



989-980-9870

"Shield yourself from the unknown with a Wahl Home Inspection"

THIS CONTRACT LIMITS OUR LIABILITY... PLEASE READ CAREFULLY

Client Name: John & Mary Smith **Invoice Number:** 202307232
Inspection Address: 1234 M33 **City:** Alger **Zipcode:** 48610

I (Client) hereby request a limited visual inspection of the structure at the above address to be conducted by Wahl Home Inspection Service LLC for my sole use and benefit. I warrant that I will read the following agreement carefully. I understand that this is a legal contract and that I am bound by all the terms contained herein.

Initial Here _____ _____

SCOPE OF INSPECTION

The scope of the inspection and report is a limited visual inspection of the general systems and components of the home to identify any system or component listed in the report which may be in need of immediate major repair. This inspection will be performed in compliance with all Michigan State Home Inspection standards and practices.

OUTSIDE THE SCOPE OF THE INSPECTION

Anything not specifically mentioned below and or any area which is not exposed to view, is concealed, or is inaccessible because of soil, walls, floors, carpets, ceilings, furnishings, or any other thing that is not included in this inspection.

The inspection does not include any destructive testing or dismantling. The client agrees to assume all risk for all conditions which are concealed from view at the time of the inspection.

This is not a home warranty, guarantee, insurance policy, or substitute for real estate transfer disclosure which may be required by law.

Whether or not they are concealed, the following ARE OUTSIDE THE SCOPE OF THIS INSPECTION:

- Building code or zoning ordinance violations.
- Geologic stability or soils condition.
- Structural stability or engineering analysis.
- Termites, pests, or other wood destroying organisms.
- Asbestos, radon, formaldehyde, lead, or air quality, electromagnetic radiation, or any other environmental hazards.
- Building value appraisal or cost estimates.
- Pools and spas bodies and underground piping.
- Specific components noted as being excluded on the individual system inspection forms.
- Private water or private sewage systems.
- Saunas, steam baths, or fixtures and equipment
- Radio-controlled devices, automatic gates, elevators, lifts, dumbwaiters and thermostatic or time clock controls.
- Water softener/purifier systems or solar heating systems.
- Furnace heat exchangers, free standing appliances, security alarms, or personal property.
- Adequacy or efficiency of any system or component.

Your inspector is a licensed builder, and is not acting as a licensed engineer. If your insepctor recommends consulting other specialized experts, client must do so at client's expense.

I have read and agree to the above Scope of Inspection

Initial Here _____ _____

I have read, understand, and agree to all of the terms and conditions of this contract and agree to pay the fee listed above.

Signed: _____

Dated: _____

Signed: _____

Dated: _____

ARBITRATION: Any dispute concerning the interpretation of this agreement or arising from this inspection and report, except one for inspection and payment shall be resolved informally between the parties or by arbitration conducted in accordance with the rules of the recognized Arbitration Association except that the parties shall select an arbitrator who is familiar with the home inspection industry. The arbitrator shall conduct summary judgement motions and enforce full discovery rights as a court would as provided in civil preceedings by legal code.

USE BY OTHERS: Client promises inspector that the client has requested this inspection for client's own use and will not disclose any part of the inspection report to any other person with these exceptions ONLY: One copy may be provided to the current seller(s) of the property for their use as part of this transaction only, and one copy may be provided to the real estate agent representing Client and/or bank or other lender for use in Clint's transaction only.

ATTORNEY'S FEES: The prevailing party in any dispute arising out of this agreement, the inspection, or report(s) shall be awarded all attorney's fees, arbitrator and other costs.

SEVERABILITY: Client and inspector agree that should a court of Competent Jurisdiction determine and declare that any portion of this contract is void, voidable, or unenforceable, the remaining provisions and portions shall remain in full force and effect.

LIMITATION ON LIABILITY

INSPECTOR'S LIABILITY FOR MISTAKES OR OMISSIONS IN THIS INSPECTION REPORT IS LIMITED TO THE FEE PAID FOR THIS INSPECTION REPORT. THE LIABILITY OF THE INSPECTOR'S PRINCIPALS, AGENTS, AND EMPLOYEES IS ALSO LIMITED TO THE FEE PAID. THIS LIMITATION APPLIES TO ANYONE WHO IS DAMAGED OR HAS TO PAY EXPENSES OF ANY KIND BECAUSE OF MISTAKES OR OMISSIONS IN THIS INSPECTION REPORT. THIS LIABILITY LIMITATION IS BINDING ON CLIENT AND CLIENT'S SPOUSE(S), HEIRS, PRINCIPALS, ASSIGNS, AND ANYONE ELSE WHO MAY OTHERWISE CALIM THROUGH CLIENT. CLIENT ASSUMES THE RISK OF ALL LOSSES GREATER THAN THE FEE PAID FOR THE INSPECTION. CLIENT AGREES TO IMMEDIATELY ACCEPT A REFUND OF THE FEE AS FULL SETTLEMENT OF ANY AND ALL CLAIMS WHICH MAY EVER ARISE FROM THIS INSPECTION.

| | |
|---------------------------------|-----------------|
| BASIC INSPECTION FEE \$ | <u>295.00</u> |
| OTHER INSPECTION FEES \$ | <u>0.00</u> |
| TOTAL INSPECTION FEE \$ | <u>\$295.00</u> |



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ROOF / ATTIC - IMPORTANT INFORMATION PLEASE READ

(A) Manufacturers of asphalt shingles, on average, provide a twenty year warranty. This should not be confused with actual roof life. Actual roof life may vary greatly depending upon many factors. (B) It is advised that cash reserves be set aside for repairs or eventual replacement. It is recommended that no more than 2 layers of roofing lie on the roof. (C) Check flashing annually. (D) To prevent water damage to roof, sheathing, walls, ceilings, and structural members, gutters and downspouts must be kept clean and free of debris. It is suggested that you periodically check to ensure that all is functioning properly. (E) Local regulations in some communities require the presence of a flue liner when using certain fuels. Consult your local authorities. (F) Chimney should be sealed to extend its life. (G) Attic ventilation is an important factor in the life expectancy of roofing materials. Maximum airflow must be maintained to minimize heat build up during warmer months, and condensation in the winter. **DO NOT COVER OR BLOCK VENTS.** (H) Insulation standards have changed in recent years contact your local building code authority to determine the requirements for your area. (I) the presence of Urea Foam Formaldehyde Insulation in walls cannot be determined by visual inspection. We recommend an air quality test when the inspector suspects this type of insulation. (J) The evidence, source or amount of water penetration may not always be observable at the time of inspection. We suggest you consult the owner for historical perspective of whether

BUILDING EXTERIOR - IMPORTANT INFORMATION PLEASE READ

(A) Window wells should be cleaned annually. (B) Exterior faucets, if they are not of the frost free variety, should be drained during the colder months to prevent freezing. (C) The underside of porches and decks not accessible at the time of this inspection, should be made accessible to check for damage, rot, or infestation. (D) You should verify the age of the roofing materials through the broker, owner, or contractor. (E) Wood contacting the ground is conducive to rot, and wood destroying organisms, therefore it should be removed, or maintained.

GARAGE - IMPORTANT INFORMATION PLEASE READ

(A) Fume barriers, firegrade sheetrock, and fire doors are required in new construction. For safety, if your attached garage does not have these features you should consider adding them.

BUILDING FOUNDATION - IMPORTANT INFORMATION PLEASE READ

(A) Minor cracks in basement walls and floors represent normal shrinkage. To reduce the chance of water penetration, you can patch these with hydraulic cement. (B) Cracks that are offset or 'V' shaped represent differential settlement. To Determine if movement is continuous, consult owner or professional for history. (C) Examination of structural members, walls, floors, ceilings, wiring, piping, etc., cannot be conducted. These are partially finished, rendering them inaccessible. No destructive probing or removal of permanent or non-permanent partitions or tiles is performed. (D) Efflorescence is the white powdery substance often evident on concrete floors and walls. It is usually an indication that water penetration has occurred at some time. (E) Proper ventilation is necessary to reduce moisture in crawlspaces. If vents are blocked in colder months, they must be re-opened when the weather warms up. (F) Sump Pumps and sump discharge lines should periodically be inspected for proper operation.

HVAC - IMPORTANT INFORMATION PLEASE READ

(A) This report indicates the condition of the heat plant on the day of inspection without regard to life expectancy; therefore we suggest that you obtain a major service policy for the heat plant from a dealer or contractor which would include annual servicing, adjustments, efficiency testing, warranty and emergency service. (B) In the event that the unit is a coal conversion furnace/boiler, it is at the end of its economical usefulness. Expect repairs or replacement. (C) To determine the condition of the heat exchanger in Forced Air Units, major disassembly by an HVAC technician is required. **THIS REPORT DOES NOT REPRESENT THE CONDITION OF THE HEAT EXCHANGER and we recommend that you have this evaluated. DEFECTS IN THE HEAT EXCHANGER MAY REQUIRE REPLACEMENT OF THE ENTIRE FURNACE.** (D) Relief valves, valves, gauges, switches, and other safety devices cannot be tested. (E) Asbestos insulation should be removed or encapsulated by a licensed Asbestos contractor. (F) All combustible materials must be kept clear of electric baseboard heating units. (G) Air conditioning equipment cannot be operated below 65 degrees. (H) Annual servicing of HVAC equipment is

PLUMBING / ELECTRICAL - IMPORTANT INFORMATION PLEASE READ

(A) The current main fuse capacity is not always an indication of its maximum capacity. Consult with an electrician. (B) Due to the age of the structure, fixtures may not meet current standards, therefore updates to electrical and plumbing fixtures may be necessary when making renovations or repairs. (C) If your home has battery powered smoke and or carbon monoxide detectors, you should change batteries twice a year. We recommend that you replace the batteries each time you reset your clocks for daylight savings time. (D) GFCI Breakers and receptacles should be checked monthly for proper operation. (E) The inspection information on this page makes no representation as to the condition of private water supply and waste systems. There is optional testing which can provide this information. (F) Representations as to functionality of private water conditioning equipment are outside the scope of this inspection. Contact dealer for specific information. (G) On a semi-annual basis 2 - 3 gallons of water should be drained from the drain valve of the water heater. This will help to reduce sediment build up making future replacement easier.

BATHROOM - IMPORTANT INFORMATION PLEASE READ

(A) Cracking of grout lines between tiles is normal and due to shrinkage. In order to prevent staining grout lines should be sealed every 6 months. (B) We do not recommend using a garbage disposal if your home has a septic system, as this can cause blockages. (C) GFCI receptacles are advised any place occupants might come in contact with water. (D) Proper ventilation is important in areas of high moisture. Always use fan or open a window during a shower/bath, as this will help to reduce mold and mildew growth. (E) Improper maintenance of grout and caulking can result in moisture penetration causing severe structural damage. (F) This inspection only reports structural or mechanical defects. Cosmetic blemishes are outside the scope of this inspection.

BUILDING INTERIOR - IMPORTANT INFORMATION PLEASE READ

(A) It is recommended that all structures built prior to 1978 be tested for lead based paint. (B) Due to the nature of the deficiency, insulated windows and skylights may have undetected broken thermal seals. (C) Fireplaces and wood/coal burning stoves are visually inspected only. We recommend that chimneys and stove pipes are inspected annually and cleaned as necessary. It is further recommended that gas logs are inspected annually for proper

KITCHEN - IMPORTANT INFORMATION PLEASE READ

(A) Cracking of grout lines between tiles is normal and due to shrinkage. In order to prevent staining grout lines should be sealed every 6 months. (B) We do not recommend using a garbage disposal if your home has a septic system, as this can cause blockages. (C) GFCI receptacles are advised any place occupants might come in contact with water. (D) refrigerators and freezers are outside the scope of this inspection and no representations are made as to their functionality. (F) Unless otherwise noted, all inspected appliances are functional on the date of inspection. This does not however represent a guarantee or warranty. We are not making any representations as to future functionality or failure.



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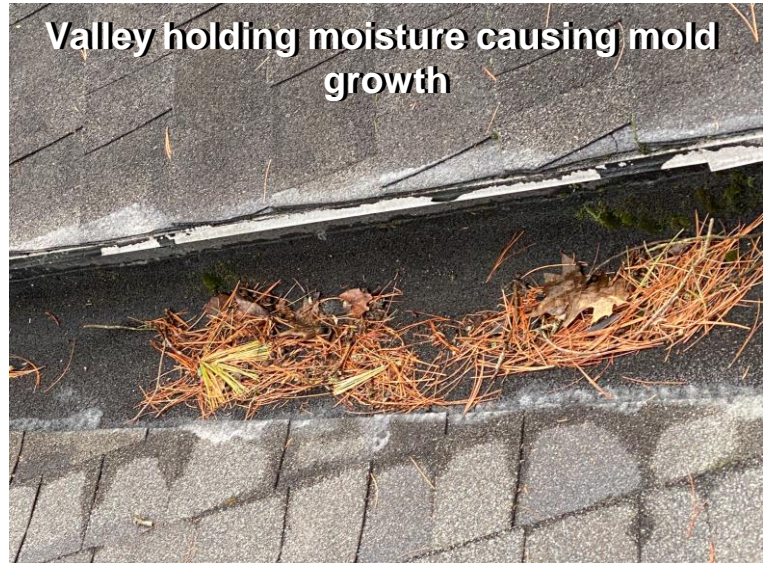
| | | | | | |
|---|-------------------------------------|--|-------------------------------------|-------------------------------------|--------------------------|
| Maintenance, repair, or upgrade is recommended | | Caution is advised as this item is not functioning properly at this time | | | |
| Item Appears Serviceable at this time | | This item does not exist / was not inspected at this time | | | |
| | | FURTHER EVALUATION BY A LICENSED INDIVIDUAL IS RECOMMENDED | | | |
| Roof | | | | | |
| 1. Roof Condition | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Roof Type Combination | | | | | |
| Roof Material Shingles - Asphalt | | | | | |
| Inspection Method: Walked | | | | | |
| 2. Exterior Of Chimney | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Note: Flue Liner Excluded From Inspection | | | | | |
| 3. Flashing | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. Skylights | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Gutters | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| There was moss build up on much of the roof. Along with the damaged/Deteriorate | | | | | |
| Damaged / Deteriorated Chimney Material | | | | | |
| Mastec / Tar Covered | | | | | |

Additional Information

There was moss build up on much of the roof. Along with the damaged/Deteriorated concrete blocks near chimney cap. the chimney cap was cracked. The flashing at the chimney is improper. It should have step flashing.



Moss and mold build up



Valley holding moisture causing mold growth



Branch overhanging roof



Chimney should be step flashed



Flue liner deteriorated. Chimney cap cracked.



Chimney block deteriorating.

IMPORTANT INFORMATION PLEASE READ CAREFULLY

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BUILDING EXTERIOR

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|---|-------------------------------------|-------------------------------------|--|-------------------------------------|--------------------------|--------------------------|---|
| Item Appears Serviceable at this time | | | This item does not exist / was not inspected at this time | | | | |
| | | | FURTHER EVALUATION BY A LICENSED INDIVIDUAL IS RECOMMENDED | | | | |
| 1. Exterior Siding (Metal) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Wrinkled / Warped / Bowed |
| 2. Exterior Trim (Metal) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 5. Perimeter Drainage and Grading | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Improperly Sloped Toward Structure. Evidence of erosion |
| 6. Basement Windows | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 7. Window Wells | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 8. Exterior Foundation | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Crack(s) - Minor |
| 9. Exterior Faucet(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 10. Electrical Service Entry | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 11. Exterior Outlets | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 12. Exterior Lighting | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Porch light did not come on. |
| 13. Walkways... Type | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 14. Driveways... Type (Dirt / Sand) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 15. Exterior Doors | | | | | | | |
| Front (Wood) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Side (Wood) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Walk-out basement door |
| Rear - Leading to 3 se (Metal) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Does Not Lock |
| 16. Attached Porch / Deck / Stairs | | | | | | | |
| Front (Masonry - Concrete) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Crack(s) - Minor. Part of nosing broken away. Slopes to the right |
| 17. Patio(s) (Masonry - Tile) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 3 season porch on rear of house |
| 18. Retaining Walls (Combination - Stone / | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Damaged / Deteriorated |
| 19. Vegetation | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Overhanging Structure (Prune So That No Branch Is Within 10 Feet Of Roof) |
| 20. Fencing | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Additional Information | | | | | | | |
| There is substantial sloping of the grading toward the house. This should be remedied in order to try to limit water entry into the basement. | | | | | | | |



Wrinkled warped siding



Front porch sloped and deteriorated slip hazard



Broken step nosing



Grading sloping toward foundation



Foundation cracks



Retaining wall damaged

IMPORTANT INFORMATION PLEASE READ CAREFULLY

(A) Window wells should be cleaned annually. (B) Exterior faucets, if they are not of the frost free variety, should be drained during the colder months to prevent freezing. (C) The underside of porches and decks not accessible at the time of this inspection, should be made accessible to check for damage, rot, or infestation. (D) You should verify the age of the roofing materials through the broker, owner, or contractor. (E) Wood contacting the ground is conducive to rot, and wood destroying organisms, therefore it should be isolated, or maintained.



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| | | Maintenance, repair, or upgrade is recommended | | Caution is advised as this item is not functioning properly at this time | | This item does not exist / was not inspected at this time | |
|---------------------------------------|-------------------------------|--|-------------------------------------|--|-------------------------------------|--|--------------------------|
| Item Appears Serviceable at this time | | | | | | FURTHER EVALUATION BY A LICENSED INDIVIDUAL IS RECOMMENDED | |
| GARAGE: | Type Attached | | | | | | |
| 1. Roof | Type Shingles - Composite | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. How Viewed | Walked | | | | | | |
| 3. Siding | Material Metal | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. Trim | Material Metal | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Framing | Method Conventional Framing | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. Floor | Type Concrete | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7. Finished Walls | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 8. Finished Ceilings | | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 9. Windows | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 10. Door 1 | Type Over Head Door | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| | Location Front | | | | | | |
| | Material Fiberglass | | | | | | |
| 11. Door 1 | Automatic Opener | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 12. Door 1 | Opener Safety Controls | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 13. Door 2 | Type: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| | Location: | | | | | | |
| | Material: | | | | | | |
| | Door 2 Automatic Opener | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| | Door 2 Opener Safety Controls | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 14. Door 3 | Type: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| | Location: | | | | | | |
| | Material: | | | | | | |
| | Door 3 Automatic Opener | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| | Door 3 Opener Safety Controls | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 15. Door 4 | Type: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| | Location: | | | | | | |
| | Material: | | | | | | |
| | Door 4 Automatic Opener | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| | Door 4 Opener Safety Controls | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 16. Electrical | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 17. Other Item | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 18. Fire Wall | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Moss covered indicating a state of constant moisture. This will ultimately reduce th

Crack(s) - Moderate. Floor slopes enough that there are oepnings between the doo

Panels missing

Door does not properly meet floor

Could Not Verify Existance

Additional Information
 There appears to be a settling crack on the North West foundation wall.



Moss build-up on the roof



Foundation crack indicates possible settling



Door does not properly meet floor

IMPORTANT INFORMATION PLEASE READ CAREFULLY

(A) Fume barriers, fire-grade sheetrock, and fire doors are required in new construction. For safety, if your attached garage does not have these features you should consider adding them.



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| Maintenance, repair, or upgrade is recommended | Caution is advised as this item is not functioning properly at this time | | | | |
|--|--|--------------------------|--------------------------|--------------------------|--------------------------|
| Item Appears Serviceable at this time | This item does not exist / was not inspected at this time | | | | |
| Attic | FURTHER EVALUATION BY A LICENSED INDIVIDUAL IS RECOMMENDED | | | | |
| 1. Attic Inspection: Opening <u>None</u> How Viewed <u>No Access NOT INSPECTED</u> | | | | | |
| 2. Roof Backings: Material: _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Roof Framing Method: _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. Chimney | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Ventilation Method: _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. Insulation Depth: _____ Material: _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7. Whole House Fan | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 8. Attic Water Penetration | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Additional Information

I was unable to access the attic to verify framing. I tried looking through the gable end vents, but they offered no view either.

IMPORTANT INFORMATION PLEASE READ CAREFULLY

(A) Attic ventilation is an important factor in the life expectancy of roofing materials. Maximum airflow must be maintained to minimize heat buildup during warmer months, and condensation in the winter. DO NOT COVER OR BLOCK VENTS. (B) Insulation standards have changed in recent years contact your local building code authority to determine the requirements for your area. © the presence of Urea Foam Formaldehyde Insulation in walls cannot be determined by visual inspection. We recommend an air quality test when the inspector suspects this type of insulation. (D) The evidence, source or amount of water penetration may not always be observable at the time of inspection. We suggest you consult the owner for historical perspective of whether water penetration has been noted.

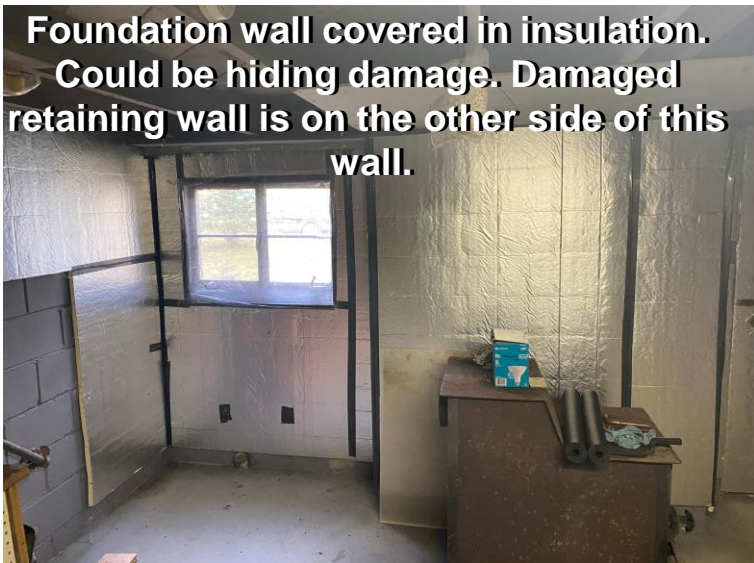
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| Maintenance, repair, or upgrade is recommended | | Caution is advised as this item is not functioning properly at this time | | This item does not exist / was not inspected at this time | |
|--|---------------|--|-------------------------------------|---|---|
| Item Appears Serviceable at this time | | FURTHER EVALUATION BY A LICENSED INDIVIDUAL IS RECOMMENDED | | | |
| BUILDING FOUNDATION | | | | | |
| 1. Type | Basement | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 2. How Viewed | Entered | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 3. Foundation | Brick / Block | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The measurement from the finished basement floor to the first floor joists is 79 5/8" |
| 4. Door / Cover | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 5. Floor | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Crack(s) - Minor |
| 6. Windows | | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | could not inspect function, as plastic is covering window. |
| 7. Stairs | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | while functional, stairs are not up to current standards. |
| 8. Handrails | | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Railing(s) - Improper Height |
| 9. Electrical | | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Missing GFCI Protection & 2 prong outlets. No GFCI protection. |
| 10. Support Beam | | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Part of the basement has an iron beam. Part by stairs has improper support beam. |
| 11. Columns | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 12. Joists | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 13. Wall Framing | | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 14. Chimney | | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 15. Ventilation | | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 16. Sump Pump | | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 17. Water penetration and dampness | | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Moisture_Noted |

Additional Information

The measurement from the finished basement floor to the first floor joists is 79 5/8". That is less than the standard 80" doorway.

There is an area of the foundation wall that is covered with insulation board. None of the other walls have this covering. This foundation wall is on the other side of the deteriorated retaining walls. I worry the insulation board could be covering foundation damage. Standing water all along South West wall. This corresponds to an area of improper grading on the front of the house. The main support beam running perpendicular to the basement stairs does not meet modern standards.



Foundation wall covered in insulation. Could be hiding damage. Damaged retaining wall is on the other side of this wall.



Major foundation cracks

Major foundation cracking



Basement railing too low



Improper support beam



Standing water in basement



Standing water in basement



Standing water in basement



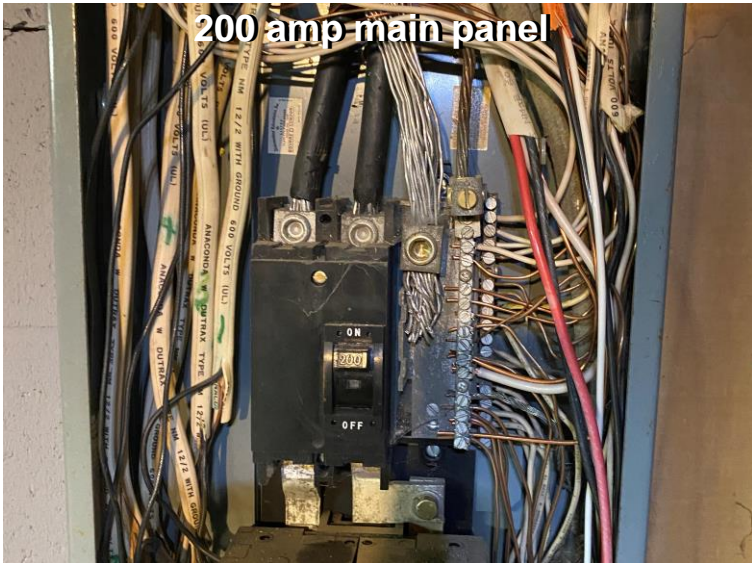
IMPORTANT INFORMATION PLEASE READ CAREFULLY

(A) Minor cracks in basement walls and floors represent normal shrinkage. To reduce the chance of water penetration, you can patch these with hydraulic cement. (B) Cracks that are offset or 'V' shaped represent differential settlement. To Determine if movement is continuous, consult owner or professional for history. (C) Examination of structural members, walls, floors, ceilings, wiring, piping, etc., cannot be conducted. These are partially finished, rendering them inaccessible. No destructive probing or removal of permanent or non-permanent partitions or tiles is performed. (D) Efflorescence is the white powdery substance often evident on concrete floors and walls. It is usually an indication that water penetration has occurred at some time. (E) Proper ventilation is necessary to reduce moisture in crawlspaces. If vents are blocked in colder months, they must be re-opened when the weather warms up. (F) Sump Pumps and sump discharge lines should periodically be inspected for proper operation.



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|---|----------|--|--------------------------|--------------------------|-------------------------------------|---|---|
| Item Appears Serviceable at this time | | FURTHER EVALUATION BY A LICENSED INDIVIDUAL IS RECOMMENDED | | | | | |
| ELECTRICAL SYSTEM | | | | | | | |
| 1. Main Panel | Basement | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 2. Service Size | 200 amp | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Main Disconnect Main Breaker Inside Panel | | | | | | | |
| 3. Accessible Wiring | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Some romex and some older cloth wrapped |
| Material Copper | | | | | | | |
| Supply Size 120/240 Volt | | | | | | | |
| 4. Sub Panel #1 | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 5. Sub Panel #2 | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 6. Sub Panel #3 | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 7. Smoke Detector(s) | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 8. Carbon Monoxide Detector(s) | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| Additional Information | | | | | | | |
| There is what appears to be an old water heater disconnect under the stairs adjacent to the water heater. | | | | | | | |



Ground



IMPORTANT INFORMATION PLEASE READ CAREFULLY

(A) The current main fuse capacity is not always an indication of its maximum capacity. Consult with an electrician. (B) Due to the age of the structure, fixtures may not meet current standards, therefore updates to electrical fixtures may be necessary when making renovations or repairs. © If your home has battery powered smoke and or carbon monoxide detectors, you should change batteries twice a year. We recommend that you replace the batteries each time you reset your clocks for daylight savings time. (D) GFCI Breakers and receptacles should be checked monthly for proper operation.



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|--|-------------------------------|-------------------------------------|--|--------------------------|-------------------------------------|---|--------------------------|--------------------------|--|
| Item Appears Serviceable at this time | | | FURTHER EVALUATION BY A LICENSED INDIVIDUAL IS RECOMMENDED | | | | | | |
| <input checked="" type="checkbox"/> Unit # 1 | Electric Baseboard - Electric | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Each unit in each room was functional at time of inspection. |
| 1. | Location All Interior Rooms | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 2. | General Controls | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 3. | Safety Controls | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 4. | Electric Disconnect | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 5. | Venting | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 6. | Piping | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 7. | Combustion | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 8. | Distribution | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 9. | Filter(s) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 10. | Support | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

Additional Information

No Additional Information Entered

IMPORTANT INFORMATION PLEASE READ CAREFULLY

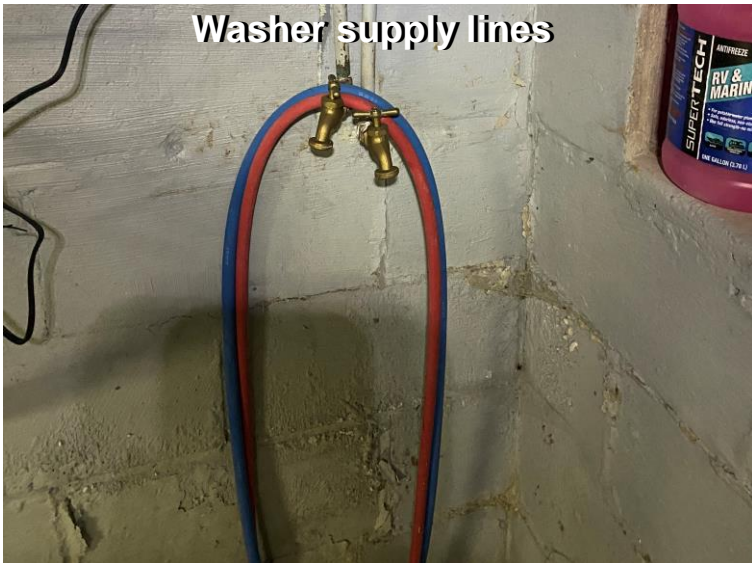
(A) This report indicates the condition of the heat plant on the day of inspection without regard to life expectancy; therefore we suggest that you obtain a major service policy for the heat plant from a dealer or contractor which would include annual servicing, adjustments, efficiency testing, warranty and emergency service. (B) In the event that the unit is a coal conversion furnace/boiler, it is at the end of its economical usefulness. Expect repairs or replacement. (C) To determine the condition of the heat exchanger in Forced Air Units, major disassembly by an HVAC technician is required. THIS REPORT DOES NOT REPRESENT THE CONDITION OF THE HEAT EXCHANGER and we recommend that you have this evaluated. DEFECTS IN THE HEAT EXCHANGER MAY REQUIRE REPLACEMENT OF THE ENTIRE FURNACE. (D) Relief valves, valves, gauges, switches, and other safety devices cannot be tested. (E) Asbestos insulation should be removed or encapsulated by a licensed Asbestos contractor. (F) All combustible materials must be kept clear of electric baseboard heating units. (G) Air conditioning equipment cannot be operated below 65 degrees. (H) Annual servicing of HVAC equipment is recommended.

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|--|----------------------------|--|---|--|---|---|---|
| Item Appears Serviceable at this time | | FURTHER EVALUATION BY A LICENSED INDIVIDUAL IS RECOMMENDED | | | | | |
| PLUMBING SYSTEM | | | | | | | |
| Supply Type | Private | | | | | | |
| Waste Type | Private | | | | | | |
| 1. Supply Lines | Combination copper/plastic | X | | | | | |
| 2. Drain Lines | Combination Metal/PVC | X | | | | | |
| 3. Main Vent Stack | Metal | X | | | | | |
| 4. Gas Supply | | | | | X | | |
| 5. Water Heater | Size 40 Gal | X | | | | | According to Rheem website, this unit was manufactured on 3/24/2020 |
| | Fuel Electric | | | | | | |
| 6. Washer Hookup | | | | | X | | No washer hooked up. Piping exists. Not inspected |
| 7. Washer Drain | Rigid | | X | | | | Improper standpipe. Not currently being used |
| 8. Dryer Hookup | Electric 240V | | | | X | | Dryer power not on. Homeowner said I could not turn on breaker. |
| 9. Dryer Vent | Rigid | | | | X | | Dryer disconnected could not inspect. |
| 10. Sump Pump | | | | | X | | |

Additional Information

Hot and cold water lines are reversed on the basement laundry tub. The hot water ran for a short while, and then slowly stopped running. The cold worked well.



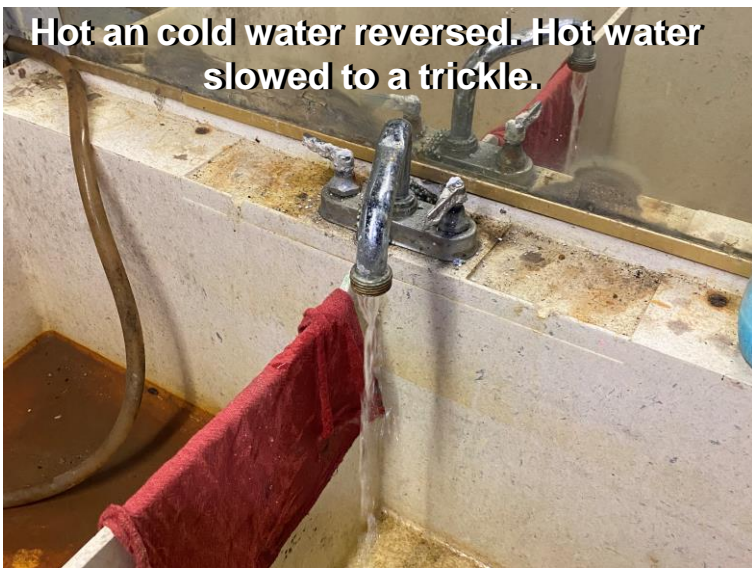
Rigid dryer vent line



Water heater one year old



Hot an cold water reversed. Hot water slowed to a trickle.



IMPORTANT INFORMATION PLEASE READ CAREFULLY

(A) Due to the age of the structure, fixtures may not meet current standards, therefore updates to plumbing fixtures may be necessary when making renovations or repairs. (B) The inspection information on this page makes no representation as to the condition of private water supply and waste systems. There is optional testing which can provide this information. (C) Representations as to functionality of private water conditioning equipment are outside the scope of this inspection. Contact dealer for specific information. (D) On a semi-annual basis 2 - 3 gallons of water should be drained from the drain valve of the water heater. This will help to reduce sediment build up making future replacement easier.

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| 1. Sink / Vanity | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Drain Lines - Improper "S" Trap |
| 2. Toilet | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 3. Tub / Shower | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Tub stopper does not hold water. Tub drains slowly. |
| 4. Electrical | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Missing GFCI Protection *** SAFETY HAZARD *** |
| 5. Ceilings | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 6. Walls | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Tub wall blocks door from opening fully. |
| 7. Floors | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 8. Windows | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 9. Doors | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 10. Ventilation | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Window only |

Additional Information
No Additional Information Entered



No GFCI protection



Door hits against bathtub wall



IMPORTANT INFORMATION PLEASE READ CAREFULLY

(A) Cracking of grout lines between tiles is normal and due to shrinkage. In order to prevent staining grout lines should be sealed every 6 months. (B) We do not recommend using a garbage disposal if your home has a septic system, as this can cause blockages. © GFCI receptacles are advised any place occupants might come in contact with water. (D) Proper ventilation is important in areas of high moisture. Always use fan or open a window during a shower/bath, as this will help to reduce mold and mildew growth. € Improper maintenance of grout and caulking can result in moisture penetration causing severe structural damage. (F) This inspection only reports structural or mechanical defects. Cosmetic blemishes are outside the scope of this inspection.

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|--|-------------------------------------|-------------------------------------|--|-------------------------------------|--------------------------|---|--------------------------|--|
| Item Appears Serviceable at this time | | | FURTHER EVALUATION BY A LICENSED INDIVIDUAL IS RECOMMENDED | | | | | |
| 1. Ceiling | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Ceiling panels not properly fitted. |
| 2. Floor | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 3. Walls | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 4. Doors | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Sliding Door Blocked By Furniture. |
| 5. Windows | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Glass Broken in right slider. Left slider does not lock. |
| 6. Electrical | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Receptacle(s) - 2 Prong Outlets |
| 7. Ceiling Fan(s) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 8. Stairs / Railings | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 9. Fireplace / Wood Stove | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Damper Damaged / Inoperative |
| 10. Smoke Detectors | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Recommend Installation Of Smoke Detector(s) |
| 10. Carbon Monoxide Detectors | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Recommend Replacement Of CO Detector(s) |
| 11. Closet(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Additional Information | | | | | | | | |
| No Additional Information Entered | | | | | | | | |



Right slider broken glass



Sliding door obscured



Improper function of flue damper



Glass doors do not stay closed



IMPORTANT INFORMATION PLEASE READ CAREFULLY

(A) It is recommended that all structures built prior to 1978 be tested for lead based paint. (B) Due to the nature of the deficiency, insulated windows and skylights may have undetected broken thermal seals. © Fireplaces and wood/coal burning stoves are visually inspected only. We recommend that chimneys and stove pipes are inspected annually and cleaned as necessary. It is further recommended that gas logs are inspected annually for proper operation.



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| Item Appears Serviceable at this time | | | FURTHER EVALUATION BY A LICENSED INDIVIDUAL IS RECOMMENDED | | | | | |
| 1. Ceiling | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 2. Floor | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 3. Walls | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 4. Doors | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Metal Slider Does Not Lock |
| 5. Windows | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 6. Electrical | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Receptacle(s) - 2 Prong Outlets |
| 7. Ceiling Fan(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 8. Stairs / Railings | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 9. Fireplace / Wood Stove | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 10. Smoke Detectors | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Recommend Installation Of Smoke Detector(s) |
| 10. Carbon Monoxide Detectors | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 11. Closet(s) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

Additional Information
No Additional Information Entered

IMPORTANT INFORMATION PLEASE READ CAREFULLY
(A) It is recommended that all structures built prior to 1978 be tested for lead based paint. (B) Due to the nature of the deficiency, insulated windows and skylights may have undetected broken thermal seals. © Fireplaces and wood/coal burning stoves are visually inspected only. We recommend that chimneys and stove pipes are inspected annually and cleaned as necessary. It is further recommended that gas logs are inspected annually for proper operation.



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|--|-------------------------------------|--------------------------|--|--------------------------|-------------------------------------|---|--------------------------|--|
| Item Appears Serviceable at this time | | | FURTHER EVALUATION BY A LICENSED INDIVIDUAL IS RECOMMENDED | | | | | |
| 1. Ceiling | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 2. Floor | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 3. Walls | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 4. Doors | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Accordian style door is functioning properly |
| 5. Windows | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 6. Electrical | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Receptacle(s) - 2 Prong Outlets |
| 7. Ceiling Fan(s) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 8. Stairs / Railings | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 9. Fireplace / Wood Stove | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 10. Smoke Detectors | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 10. Carbon Monoxide Detectors | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 11. Closet(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

Additional Information
Sliding door to patio does not lock.

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|--|-------------------------------------|--------------------------|--|--------------------------|-------------------------------------|---|--------------------------|--|
| Item Appears Serviceable at this time | | | FURTHER EVALUATION BY A LICENSED INDIVIDUAL IS RECOMMENDED | | | | | |
| 1. Ceiling | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Floor | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Walls | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. Doors | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Windows | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. Electrical | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7. Ceiling Fan(s) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 8. Stairs / Railings | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 9. Fireplace / Wood Stove | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 10. Smoke Detectors | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 10. Carbon Monoxide Detectors | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Recommend Installation Of CO Detector(s) |
| 11. Closet(s) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Additional Information
 No Additional Information Entered

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| Item Appears Serviceable at this time | | | FURTHER EVALUATION BY A LICENSED INDIVIDUAL IS RECOMMENDED | | | | | |
| 1. Ceiling | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Floor | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Walls | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. Doors | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Windows | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. Electrical | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7. Ceiling Fan(s) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 8. Stairs / Railings | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 9. Fireplace / Wood Stove | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 10. Smoke Detectors | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 10. Carbon Monoxide Detectors | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Recommend Installation Of CO Detector(s) |
| 11. Closet(s) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

Additional Information
No Additional Information Entered

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|--|-------------------------------------|-------------------------------------|--------------------------|--|--------------------------|--------------------------|---|
| Item Appears Serviceable at this time | | | | This item does not exist / was not inspected at this time | | | |
| | | | | FURTHER EVALUATION BY A LICENSED INDIVIDUAL IS RECOMMENDED | | | |
| 1. Sink | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Supply Stops - Missing |
| 2. Counter | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 3. Cabinets | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Bottom drawer does not have slides. |
| 4. Ceilings | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 5. Walls | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 6. Floors | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 7. Windows | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 8. Doors | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 9. Electrical | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Missing GFCI Protection at receptacles adjacent to the sink *** SAFETY HAZARD |
| 10. Plumbing Under Sink | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 11. Garbage Disposal | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 12. Stove / Oven | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 13. Dishwasher | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| 14. Trash Compacter | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

Additional Information

Cabinet above sink is not properly secured to the wall and adjacent cabinets.



Missing shut-off valves



Missing GFCI protection. SAFETY HAZARD

IMPORTANT INFORMATION PLEASE READ CAREFULLY

(A) Cracking of grout lines between tiles is normal and due to shrinkage. In order to prevent staining grout lines should be sealed every 6 months. (B) We do not recommend using a garbage disposal if your home has a septic system, as this can cause blockages. © GFCI receptacles are advised any place occupants might come in contact with water. (D) refrigerators and freezers are outside the scope of this inspection and no representations are made as to their functionality. (F) Unless otherwise noted, all inspected appliances are functional on the date of inspection. This does not however represent a guarantee or warranty. We are not making any representations as to future functionality or failure.

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Maintenance, repair, or upgrade is recommended **Caution is advised as this item is not functioning properly at this time**

Item Appears Serviceable at this time

Septic System

Septic System Age Seems original to houes

Could Not Verify System Age

Building Currently Occupied

Yes No

Separate Drain / Dry Well

Yes No

Well / Steam / Pond / Lake On Site

Yes No

Isolation Distance

From Well Opposite side of house Ft

From Site Water > 60ft Ft

Septic Tank

Tank Location North side of structure

Tank Capacity Size in dispute.. Appears to be a

Tank Material Concrete

Absorption System

System Location North side of structure

Field Type Unknown

Field Size According to the Septic Permit

Over All System Operation

Additional Septic Information

The septic system appears to be funtiioning properly. There is some dispute as to the size of the tank, but regardless, it appears adequately sized for the structure.

Installing a filter on a septic system limits solids from entering the drain bed. Wh

This item does not exist / was not inspected at this time
FURTHER EVALUATION BY A LICENSED INDIVIDUAL IS RECOMMENDED

Newly installed T and filter indicate repair after concrete baffle had evidently deteriorated.

The permit was issued for System Failure



IMPORTANT INFORMATION PLEASE READ CAREFULLY

(A) The septic system is basically a buried system which is hidden from normal visual inspection. Many possible problems may not show at time of inspection. (B) Bacteria is essential to your septic system as it breaks down solids, and allows your system to properly function. The use of bleach and or anti bacterial soaps are not recommended as they can kill this bacteria.

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|---|--|--|--|---|--|
| Item Appears Serviceable at this time | | FURTHER EVALUATION BY A LICENSED INDIVIDUAL IS RECOMMENDED | | | |
| <input type="checkbox"/> Well Depth Verified _____ Ft | | | | <input checked="" type="checkbox"/> | |
| Verified By _____ | | | | | |
| <input checked="" type="checkbox"/> Well Depth Not Verified _____ | | | | | |
| <input type="checkbox"/> Size Verified _____ | | | | <input checked="" type="checkbox"/> | |
| <input type="checkbox"/> Casing Verified _____ | | | | | |
| 1. Well Pump _____ | | | | <input checked="" type="checkbox"/> | |
| <input type="checkbox"/> Pump Type _____ | | | | | |
| <input type="checkbox"/> Manufacturer _____ | | | | | |
| <input type="checkbox"/> Size _____ HP | | | | | |
| <input checked="" type="checkbox"/> Pressure _____ 38 +- PSI | | | | | |
| <input checked="" type="checkbox"/> Flow _____ 5 +- GPM | | | | | |
| 2. Fittings and Connections _____ | | | | <input checked="" type="checkbox"/> | |
| 3. Expansion Tank _____ | | | | <input checked="" type="checkbox"/> | |

Additional Well Information

While, as a courtesy, inspector checked the pressure and flow rate of the water, Inspector did not perform and testing to the pump, pressure tank, or any part thereof. Inspector also did not perform any water quality analysis.

**** I MAKE NO STATEMENTS



Flow rate 5 gpm with pump running



IMPORTANT INFORMATION PLEASE READ CAREFULLY

(A) The well is basically a buried system, therefore some of the system cannot be inspected. Unless otherwise noted, the pump and tank are functioning properly at time of inspection. This inspection is in no way to be construed as a guarantee or warranty of future operation. We recommend testing water quality semi-annually. (B) the expansion tank pressurizes your system, so that the well pump does not have to run continuously thereby extending its useful life expectancy.